

ORDINANCE NO.

AN ORDINANCE ADOPTING CHAPTER 17.25 TITLED COTTAGE
HOUSING DESIGN STANDARDS INTO THE SOAP LAKE MUNICIPAL
CODE

THE CITY COUNCIL OF THE CITY OF SOAP LAKE, WASHINGTON ORDAINS AS
FOLLOWS:

Section 1. Adopt the following chapter into the Soap Lake Municipal Code:

17.25 Cottage housing design standards.

A. Purpose.

1. To provide an opportunity for small, detached housing types clustered around a common open space;
2. To ensure that cottage developments contribute to the overall character of residential areas;
3. To provide for centrally located and functional common open space that fosters a sense of community;
4. To provide for semi-private area around individual cottages to enable diversity in landscape design and foster a sense of ownership;
5. To minimize visual impacts of parking areas on the street and adjacent properties and the visual setting for the development; and
6. To promote conservation of resources by providing for clusters of small dwelling units on a property.

B. Description. Cottage housing refers to clusters of small detached dwelling units arranged around a common open space. Cottage housing developments shall only be allowed in the R-2 zone.

C. Lot Configuration. Cottages may be configured as condominiums or fee-simple lots provided they meet the standards herein.

D. Density Bonus. Due to the smaller relative size of cottage units, each cottage shall be counted as one-half a dwelling unit for the purpose of calculating density. For example, a cluster of six cottages would be equivalent to three dwelling units.

E. Dimensional Standards.

Standard	Requirement
Maximum floor area	1,000 SF
Minimum common space (see subsection (I) of this section for more info)	400 SF/unit
Minimum private open space (see subsection (J) of this section for more info)	200 SF/unit
Maximum height for cottages	26 ft.
Maximum height for cottages accessory structures	18 ft.
Setbacks (to exterior property lines)	5 ft
Minimum distance between structures (including accessory structures)	10 ft.
Minimum parking spaces per cottage	1.25

Table 17.25.010 Dimensional standards for cottages.

F. Units in Each Cluster. Cottage housing developments shall contain a minimum of three and a maximum of 12 cottages located in a cluster to encourage a sense of community among the residents. A development site may contain more than one cottage housing development.

G. Windows on the Street. Transparent windows and/or doors are required on at least 10 percent of the facades (all vertical surfaces) of all cottages facing the street and common open space. For facades facing north, at least eight percent of the facade shall include transparent windows or doors. facades, provided the design meets the purpose of the standards.

H. Parking and Driveway Location and Design.

1. Parking shall be located on the same property as the cottage development;
2. Where lots abut an alley, the garage or off-street parking area is encouraged to take access from the alley;
3. Parking areas shall be located to the side or rear of cottage clusters and not between the street and cottages. Parking is prohibited in the front and interior setback areas;
4. Parking and vehicular areas shall be screened from public street and adjacent residential uses by landscaping or architectural screens. For parking lots adjacent

to the street, at least 10 feet of shall be provided between the sidewalk and the parking area. For parking lots along adjacent residential uses, at least five) shall be required. The city will consider alternative landscaping techniques provided they effectively mitigate views into the parking area from the street or adjacent residential uses and enhance the visual setting for the development;

5. Parking shall be located in clusters of not more than five adjoining uncovered spaces (except where adjacent to an alley). Departures will be considered provided alternative configurations improve the visual setting for development;

6. Garages may be attached to individual cottages provided all other standards herein are met and the footprint of the ground floor, including garage, does not exceed 1,000 square feet. Such garages shall be located away from the common open spaces; and

7. No more than one driveway per cottage cluster shall be permitted, except where clusters front onto more than one street.

I. Common Open Space Requirements.

1. Open space shall abut at least 50 percent of the cottages in a cottage housing development;

2. Open space shall have cottages abutting on at least two sides;

3. Cottages shall be oriented around and have the main entry from the common open space;

4. Cottages shall be within 60 feet walking distance of the common open space; and

5. Open space shall include at least one courtyard, plaza, garden, or other central open space, with access to all units. The minimum dimensions of this open space are 15 feet by 20 feet.

J. Required Private Open Space. Private open space shall be required adjacent to each dwelling unit, for the exclusive use of the cottage resident(s). The space shall be usable (not on a steep slope) and oriented toward the common open space as much as possible, with no dimension less than 10 feet.

K. Porches. Cottage facades facing the common open space or common pathway shall feature a roofed porch at least 80 square feet in size with a minimum dimension of eight feet on any side.

L. Covered Entry and Visual Interest. Cottages located facing a public street shall provide:

1. A covered entry feature (with a minimum dimension of six feet by six feet) visible from the street;
2. At least 10 feet of landscaped open space between the residence and the street; and
3. At least two architectural details, such as:
 - a. Decorative lighting;
 - b. Decorative trim;
 - c. Special door;
 - d. Trellis or decorative building element; and/or
 - e. Bay window.

Alternative design treatments will be considered provided the design treatments provide visual interest to the pedestrian.

M. Character and Diversity. Cottages and accessory buildings within a particular cluster shall be designed within the same “family” of architectural styles. Examples elements include:

1. Similar building/roof form and pitch;
2. Similar siding materials;
3. Similar porch detailing; and/or
4. Similar window trim;

A diversity of cottages can be achieved within a “family” of styles by:

1. Alternating porch styles (such as roof forms);
2. Alternating siding details on facades and/or roof gables; and/or
3. Different siding color.

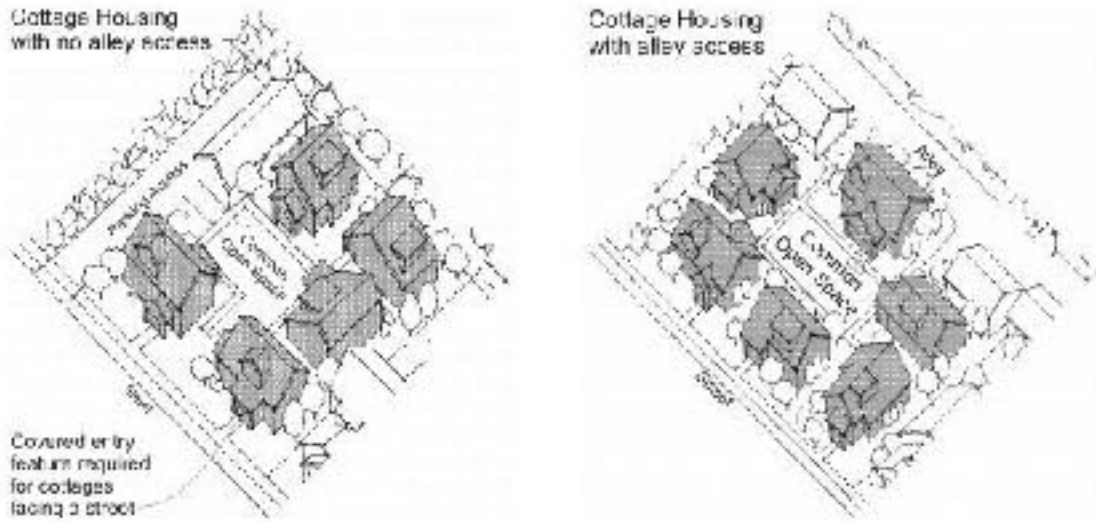


Figure 17.25.020 Typical cottage housing layouts.



Figure 17.25.030. Cottage housing examples.

Section 2. Effective date. This ordinance shall be in full force and effect five days after its passage and publication of its summary as provided by law.

PASSED by the City Council of the City of Soap Lake, Washington, this 21st day of September, 2016

Raymond Gravelle, Mayor

ATTEST:

City Clerk

APPROVED AS TO FORM:

City Attorney

PASSED the _____ day of _____, 2016

APPROVED the _____ day of _____, 2016

PUBLISHED the _____ day of _____, 2013.