

TINY HOME INDUSTRY NEWS

GROUNDBREAKING Building Codes

LAWS

AND ORDINANCES



A MOVEMENT IN PROGRESS

F irst Edition April 2020

Author- Janet Thome

THIA Industry Liaison And Media Coordinator

Table of Contents

About Janet Thome	01
Appendix Q Tiny Houses Adopted Into The 2018 Residential Code	02
GroundBreaking Sitka, Alaska Tiny Home Ordinance March 10th, 2020	03
Tiny House Law Passed In Maine: Signed By Governor Brown On March 18th, 2020	04
Washington State Tiny House Bill HB 5383	05
Washington State Adopts Appendix Q Tiny Houses: Effective Date July 1st, 2020	06
Certified Park Model Tiny Home As DADU In Lynnwood	07
Tiny House Sheet Minnesota: 2020	08
Our Tiny Home On Wheels Is A Legal Dwelling! Amazing Advocate Melanie Copeland	09
Small House Specialty Code Superseded And Replaced The Reach Code	10
Oregon Legislation For The RV Industry	11
Cheney Creek Tiny Homes Approved In Routt County, Colorado	12
Santa Clara Gives Green Light To Movable Tiny Homes	13
LA Gives Green Light To Movable Tiny Homes As ADUs	14
Tiny Homes Allowed In Moscow, Idaho	15

Table of Contents

Tiny Home Listening Session	16
New Hampshire Tiny House Senate Bill 482	17
The Cottages At King Corner Calhoun, Georgia	18
The Cottages On Vaughan: Clarkston, Georgia	19
Jurisdictions Allowing Movable Tiny Homes	20
Lake Dallas Tiny Village	21
Become A Member Of THIA	22

About Janet Thome

THIA Industry Liaison

As the Media Coordinator for THIA, Janet is steeped in the news everyday regarding news for tiny homes and is looking for every opportunity to open doors, creating strategic relations to further our goal for tiny homes as permissible dwellings.

Media Coordinator

Janet is tasked with adding content to the THIA website, including news, resources, and the blog. Janet has been documenting the jurisdictions and states Adopting Appendix Q Tiny Homes, alerting the members of THIA and the public when there are city council meetings and TAG meetings of building code officials. THIA will continue to document the code development of Appendix Q and participate in the public comment stages, so our voice and your voice can be heard.

Janet is also the Facebook editor. The THIA Facebook page is where we share breaking news for tiny homes.

The Tiny Home Industry is on fire and the social and economic impact has been felt around the world, creating a cascading effect of positive change and is becoming the go to solution for affordable housing. Say Hello to Janet on Facebook and share What's Your Tiny Story?

Janet Thome is the Sales Manager for Tiny Portable Cedar Cabins. After selling tiny homes for one builder of tiny homes, she has changed the model of her business to fulfill the needs of the customers who were needing tiny homes, nationwide and represents builders all across the country.

Janet loves to connect the consumer with their design choices, where to live legally, insurance, financing, grants and most of all, a customer's dream of owning a tiny home. Janet has a small tiny home village in Washington state and LOVES dogs.

home village in Washington state and LOVES dogs.

[Tiny Portable Cedar Cabins](#)

[Tiny Home Industry Association](#)

[Cover Photo: American Tiny House](#)

Appendix Q Tiny Houses Adopted Into The 2018 Residential Code



Appendix Q-Adopted into the 2018 International Residential Code (IRC) building code to provide regulations and standards for tiny homes on a foundation that is 400 square feet or less

Appendix Q relaxes various requirements in the body of the code as they apply to tiny houses that are 400 square feet or less.

Attention is specifically paid to features such as compact stairs, including hand rails and headroom, ladders, reduced ceiling heights in lofts and guard and emergency escape and rescue opening requirements of lofts.

The International Residential Code is a comprehensive, stand alone residential code that creates minimum regulations for one-and two family dwellings of three stories or less.

The IRC brings together all building, plumbing, mechanical, fuel, gas, energy and electrical for provisions for one-and two-family residences. Appendix Q was adopted to the IRC building code standards through the ICC Code Development Process.

Jurisdictions may use Appendix Q as a model code to adopt, reference or amend. Builders or even jurisdictions that have not adopted the 2018 IRC or the Appendix, can seek approval "on a project basis through the alternative materials and designs provision" in the IRC.-David Eisenberg, co-author of The Strawbale House Book.

Follow the documentation and adoption progress as jurisdictions across the country adopt [Appendix Q Tiny Houses](#) on The Tiny Home Industry Association.



Applying Appendix Q To A Tiny Home On A Chassis

Tonight, The City and Borough of Sitka, Alaska creates history for the tiny home industry. The second and final reading for **ORD 20-02S (A)** passed at a vote 6 to 0 and is a great win for movable tiny homes. Sitka, Alaska has approved tiny homes on a foundation, but what is groundbreaking, is they have written an ordinance that amends Appendix Q that applies to movable tiny homes. From the floor joists up, the tiny home will be built to the IRC Appendix Q.

The chassis on which a tiny house is placed or constructed, including all components attached to the chassis, shall be of adequate structural strength to resist all dead and live loads imposed upon it and/or required by applicable safety standards.

The Building Official may require third party certification to ascertain compliance with this section.

Both tiny homes on a foundation and movable tiny homes, will require a building permit and will be subject to inspection during construction.

Legal Classification: Tiny House On A Chassis

It is somewhat of a hybrid standard, built to local building codes, though Sitka created their own classification which allows for full time living with conditions. The trailer will need to be registered at the DMV for transport purposes and the trailer should be structurally rated to support the load which is placed upon it.



”An Act Regarding The Regulation Of Tiny Houses ”

LD 1981, sponsored by Senator Michael Carpenter was signed by Governor Janet T. Mills Brown on March 18th, 2020. This bill proposes to define what a tiny house is and to allow for the titling of a tiny house as a camp trailer or a trailer.

An Act Regarding the Regulation of Tiny Homes

Emergency preamble. Whereas, acts and resolves of the Legislature do not become effective until 90 days after adjournment unless enacted as emergencies; and

Whereas, the Secretary of State, industry and individuals have an urgent need to clarify the regulatory landscape so that tiny homes can be registered and titled and the industry may resume production; and

Whereas, in the judgment of the Legislature, these facts create an emergency within the meaning of the Constitution of Maine and require the following legislation as immediately necessary for the preservation of the public peace, health and safety; now, therefore,

Be it enacted by the People of the State of Maine as follow.....

Entire Article And Bill LD81 At The Tiny Home Industry Association: [Tiny Home Law Passed In Maine](#)



Senate Bill ESSB 5383- Tiny Houses bill went into effect July 28th, 2019

Sponsored by Senate Housing Stability & Affordability. It was originally sponsored by Senators Zeiger, Palumbo, Nguyen, Short, Van De Wege, Wilson, C., and Wilson L. First read 2/14/2019.

Highlights

Section One: Tiny House Villages

Individual cities and counties may allow tiny houses with wheels to be collected together as tiny house villages using the binding site plan method articulated in chapter 58.17 RCW.

Appendix Q Can Provide A Basis For The Standards Requested In The Act

The legislature recognizes that the International Code Council in 2018 has issued tiny house building code standards in Appendix Q of the International Residential Code, which can provide a basis for the standards requested within this act.

Tiny House Bill 5383



Washington state has adopted Appendix Q Tiny Houses, with amendments.

The effective date is July 1st, 2020. Appendix Q Tiny Houses was adopted into the 2018 International Residential Code (IRC) building code to provide regulations and standards for tiny homes on a foundation that is 400 square feet or less.

Attention is specifically paid to features such as compact stairs, including hand rails and headroom, ladders, reduced ceiling heights in lofts and guard and emergency escape and rescue opening requirements of lofts.

The International Residential Code is a comprehensive, stand alone residential code that creates minimum regulations for one-and two family dwellings of three stories or less.

Tiny House Bill 5383

Tiny House Bill 5383, which became effective on July 28th, 2019 defines tiny homes and mandated that the building code council write building codes for tiny homes. Washington state has adopted Appendix Q Tiny Houses which relates to tiny homes on a foundation.

Learn More At The Tiny Home Industry Association: [Washington State Adopts Appendix Q Tiny Houses](#)

Certified Park Model Tiny Home As DADU In Lynnwood



Guest Post From Kurt Galley With Carriage Houses NW, LLC.

Case Study: Tiny Home Becomes Permanent Detached Accessory Dwelling Unit in Lynnwood, Washington.

Carriage Houses NW has a really exciting development we want to share regarding backyard cottages. The city of Lynnwood recently approved the placement of one of our Park Model tiny homes on wheels onto a permanent foundation as a backyard cottage, also known as a detached accessory dwelling unit (DADU).

Met All Requirements Through Wa. Labor And Industries

They go through a rigorous approval process which includes structural engineering and systems inspections for framing, insulation, electrical wiring and plumbing. They leave our factory with an L&I insignia that they meet or exceed all requirements.

Learn More At The Tiny Home Industry Association: [Certified Park Model Tiny Home As DADU In Lynnwood](#)

TINY HOUSES AND THE 2020 MINNESOTA RESIDENTIAL CODE

Minnesota Department of Labor and Industry

OVERVIEW

"Tiny houses" have received a lot of attention and interest in recent years. The following information is provided to clarify how these small structures are regulated by the Minnesota State Building Code. The Minnesota State Building Code is the standard of construction that applies statewide for the construction of buildings (MS 326B.121) including tiny houses.

Loosely defined, tiny houses range from about 100 to 400 square feet. The following describes how these houses are regulated by building codes, zoning codes and the Department of Housing and Urban Development (HUD).



Standards Construction Of Tiny Houses Includes Appendix Q

The Minnesota Residential Code includes Appendix Q Tiny Houses. The "code" for the purpose of constructing houses, means the the 2020 Minnesota Residential Code, It is a standard that applies statewide. The Tiny Home Sheet describes how tiny houses are regulated by building codes, zoning codes and HUD. Tiny homes can be built as prefab homes, Modular buildings, manufactured homes and site built.

[Learn More At The Tiny Home Industry Association: Tiny House Sheet Minnesota](#)



What's Your Tiny Story?

Melanie Copeland: Shares Her Journey

Our Tiny Home Is A Legal Dwelling In Buckingham County, Virginia

Zone Approval With Buckingham County, Virginia

Guest Post: Melanie Copeland

So we are officially legal! We are homeowners and legal land owners in the great state of Virginia. Did you ever think that you are just one person and too small to make a difference? Well, I used to think that... until I went tiny! So, want to know how? Here's our tiny story ...

We built our home in seven days at a workshop with Incredible Tiny Homes! It is a complete and functional home. And while I always imagined living tiny as a lifestyle that would allow me freedom, and less to do...Once we got our home it clearly became something different. See, we live in the state of Virginia and after exhausting all parking options that were within the immediate vicinity of us, we ended up parking in a backyard with nowhere "legal" to go.

Entire Article And Incredible Journey From Living Under The Radar To Living Legally In Their Tiny Home On Wheels As A Dwelling At The Tiny Home Industry Association: [Our Tiny Home On Wheels Is A Legal Dwelling!](#)

Small House Specialty Code Superseded And Replaced The Reach Code



Effective Date: October 1st, 2019

HB 2423, created the Small Home Specialty Code (consisting of the 2018 International Residential Code, including but not limited to Appendix Q of that code), superseded and replaced all previous related statutes and approaches in the ORSC, including the R329 ORSC amendments (temporary rule) and the REACH code.

The State Building Codes Division (BCD) adopted the 2018 International Residential Code, including Appendix Q, as part of the Oregon Reach Code to provide minimum standards for the construction of tiny houses (400 square feet or less, not including loft areas). Appendix Q became effective on Sept. 20th, 2018.

Builders Are Encouraged To Work With Local Jurisdiction

The new Small Home Specialty Code is the recognized construction standard for all permanent dwellings 400 sq. ft. or less in Oregon. As part of that recent legislation, the legislature made it clear that these issues are local jurisdiction issues.

Learn More At The Tiny Home Industry Association: [Oregon Reach No Longer Applies](#)

Photo Credit: Oregon Cottage Company



Governor Kate Brown signed into law a bill that eliminates the Department of Consumer and Business Services from regulating RVs.

Oregon Duplicative Compliance Seal Eliminated

With the enactment of this new law, the need to attach an additional and duplicative Oregon insignia of compliance or seal to RVs is eliminated and Oregon joins the vast majority of states which do not regulate the manufacturing of RVs.

Removes Requirement For PMRV Manufacturers To Use Licensed Plumbers And Electricians
Additionally, the new law removes the requirement for PMRV manufacturers in the state of Oregon to use licensed plumbers and licensed electricians to make installations and repairs. The bill, OR SB 410, takes effect January 1, 2020.

The changes the new law implements are common sense and help promote not only the national RV industry, but also the Oregon RV industry which contributed \$4.3 billion in economic impact and supported almost 23,000 jobs in the state of Oregon.

Bill HB2333 Defines RVs And PMRVs As Vehicles

In addition to SB 410, another bill, OR HB 2333, was passed unopposed by the Oregon state legislature. This bill defines RVs and PMRVs as vehicles under the regulation of the Oregon Department of Transportation. HB 2333 is awaiting signature from Governor Brown and we expect this to happen in the coming days or weeks.

Learn More At The Tiny Home Industry Association: [Oregon Legislation For The RV Industry](#)

Photo Credit: Compact Cottages. Net

Cheney Creek Tiny Homes Approved In Routt County, Colorado



Milner, Colorado's First Tiny Home Community

Cheney Creek Tiny Home Development was approved by the Routt Board Of Commissioners Sept. 24th, 2019 and will be the first tiny home community in Milner. Milner is a short 10 minute drive to Steamboat Springs along US HWY 40.

Tiny Home Advocate and Board Member, Emily Gerde supports Cheney Creek and sees the development as a solution to a regional housing shortage. As a millennial, a tiny home was an affordable option when she was looking to buy a house in Routt County for her family of four, particularly with the financial burden of student debt. "I really love to see this county opening to tiny homes," she said. "It's really what our generation needs."

Michael Buccino Developer

Michael Buccino is the developer of Cheney Creek and is current serving as a planning commissioner for the City of Steamboat Springs. He owns an interior design firm and Micro Living, LLC. and began getting involved in the tiny house movement in 2016. DOLA, Department of Local Affairs in Colorado, came to rural Routt County, Colorado to discuss tiny houses and begin the conversation locally. Since then, the movement has progressed to create legal way for conforming tiny homes to local zoning. Michael is also a board member of the American Tiny House Association. Michael Buccino plans to have the six tiny homes built by March 2020.

Entire Article At Tiny Home Industry Association: [Cheney Creek Tiny Homes Approved In Routt County](#)



Movable Tiny Homes As Backyard ADUs

Statement From Dan Fitzpatrick, President Of THIA

Fabulous news from Santa Clara County, California (the Silicon Valley!).

The County of Santa Clara has given the Green Light to Movable Tiny Homes as ADUs! The ordinance, modeled after the LA City ordinance, becomes law mid-April!

The Accessory Dwelling Unit (ADU) ordinance has been APPROVED this week by the County Board of Supervisors. This ordinance permits Movable Tiny Houses as permissible and permanently habitable accessory dwelling units (ADU).

Suffice it to say that, now that one of California's large urban counties recognizes Movable Tiny Homes as habitable ADU's, it will go a long way in providing a model for other counties around the country.

The Tiny Home Industry Association (THIA) has been spending many months guiding this ordinance and are very pleased with the county's approval.

Movable tiny home : A structure on wheels used for dwelling purposes that provides complete independent living facilities for one or more persons and is located on the same lot as the primary dwelling (single-family or multifamily) to which it is an accessory use. It includes permanent provisions for living, sleeping, eating, cooking, and sanitation on the same parcel as the primary dwelling to which it is accessory.

Entire Article And Ordinance At The Tiny Home Industry Association: [Santa Clara Gives Green Light To Movable Tiny Homes](#)



Announcement from Dan Fitzpatrick, THIA President

Fabulous news from LA. The City of Los Angeles has given the Green Light to Movable Tiny Homes as ADUs!

The Accessory Dwelling Unit (ADU) ordinance has been APPROVED today by the LA City Council. This ordinance permits Movable Tiny Houses as permissible and permanently habitable accessory dwelling units (ADU). The ordinance becomes law in time for Christmas!

Suffice it to say that, now that the nation's 2nd largest city recognizes Movable Tiny Homes as habitable ADU's, it will go a long way in providing a model for other cities around the country. Thank you to American Tiny House Association (ATHA) and Tiny Home Industry Association (THIA) and a special thanks to Tessa Baker of Los Angeles Co-built Homes (LATCH) that did the early groundwork with LA elected officials.

An ordinance amending Sections 12.03, 12.22 and 12.33, and repealing portions of Section 12.24, of Chapter 1 of the Los Angeles Municipal Code for the purpose of regulating Accessory Dwelling Units and Junior Accessory Dwelling Units in accordance with State law.

Entire Article And Ordinance At The Tiny Home Industry Association: [LA Gives Green Light To Movable Tiny Homes As ADUs](#)

Photo Credit: California Tiny House



RVs, Park Models, And Tiny Homes Allowed In Mobile Home Parks

The Moscow City Council removed the 6 month restriction of RVs in mobile home parks last night, through a unanimous vote. Park Models and tiny homes on wheels will also be allowed in mobile home parks in Moscow as well for full time hookups year around. It was heart warming to see the supportive comments from each city council member. Led by Mayor Bill Lambert, the city council also suspended the rules requiring three, complete separate readings, to be read by title and published by summary.

Mayor Bill Lambert

” Ordinance number 2020 Days O1 an ordinance with the city of Moscow, Idaho a Municipal Corporation of the state of Idaho, providing for the amendment at Moscow city code title 6, chapters, 2, 3 and 4 regarding amendments to the mobile homes parks and recreation vehicle parks chapters providing that the provisions of this ordinance be deemed severable and providing for tthis ordinance to be in full force and effect from the day of its passage approve and publication according to law.”

Entire Article And Ordinance At The Tiny Home Industry Association: [Tiny Homes Allowed In Moscow, Idaho](#)



Statement from Byron Fears With SimBLISSity Tiny Homes Regarding The Feb 26th, 2020 Tiny Home Listening Session

Byron Fears, builder of SimBLISSity Tiny Homes and the Director Of Communications for the Tiny Home Industry Association had the pleasure of being invited to share Tiny information with the City of Boulder Housing Advisory Board this past Wednesday.

The City of Boulder (Colorado) has legalized Tiny Homes on foundation. Additionally they will permit Movable Tiny Homes built at an approved inspected facility, SimBLISSity, to be moved and placed on foundation. Byron is working on getting them to accept Movable Tiny Homes on wheels as a legal dwelling as well.

Entire Article And To Hear The Listening Session At The Tiny Home Industry Association: [Boulder Seeks Comments About Tiny Homes](#)

Photo Credit: SimBLISSity Tiny Homes



New Hampshire Bill 482 defines tiny houses and provides for the authority and requirements for municipal regulation.

AN ACT relative to building codes for tiny houses.

SPONSORS: Sen. Fuller Clark, Dist 21; Sen. Sherman, Dist 24; Sen. Kahn, Dist 10; Rep. Testerman, Merr. 2

COMMITTEE: Election Law and Municipal Affairs

"It was great to work on a truly bipartisan bill. Senator Martha Fuller Clark fully supported the effort and was a great help in making sure our legislation got filed. I originally thought it wasn't necessary for such a bill because I wrongly thought it was already covered by rules on manufactured housing but soon found it was not. We listened to hours of testimony and put together a bill that will work for New Hampshire. I hope it sails through the Senate and House as a bill that will help Seniors as well as Millennial's to fill a needed niche in New Hampshire housing."

Dave Testerman
Representative for Hill and Franklin

The Cottages At King Corner Calhoun, Georgia: Coming Soon!



A Tiny House Hand Up, Affordable Planned Community

There was love in the air in Calhoun, Georgia on Valentine's Day, as Tiny House Hand Up had it's official ribbon cutting ceremony with the chamber of commerce, announcing The Cottages At King Corner. The community was invited to learn about the new, proposed development.

About Tiny Home Hand Up

A 501(c)3 Non Profit Corporation Providing Affordable Housing Solutions for the Citizens of Calhoun/Gordon County, GA. The organization was founded three years ago, and since then they have been working to raise money and partnering with builders and suppliers and local governments to see their plan through. Cindy Tucker is the Executive Director.

There is a severe shortage of affordable housing. The area is great for more bringing in industries and providing jobs, but the pay is on the lower end of the scale.

Tiny Homes On A Foundation

The cottage housing development Tiny House Hand Up is proposing for The Cottages at King Corner is a type of detached, foundation-built housing providing smaller residences for households of typically one to two individuals governed by an HOA and restrictive covenants.

Entire Article On The Tiny Home Industry Association: [The Cottages At King Corner Calhoun, Georgia](#)

The Cottages On Vaughan: Clarkston, Georgia



First Of It's Kind Tiny Home Community

The Cottages on Vaughan broke ground this week and will be the first of its kind in Clarkston, GA. Situated on a half-acre, the development will include 8 tiny homes on permanent foundations ranging from 250-492 SF oriented around a common green. It is centrally located one block from downtown Clarkston, community hub Refuge Coffee and from the local park Friendship Forest. The development has easy access to the Path Foundation trail that connect Clarkston to Decatur, the City of Atlanta, and Stone Mountain.

Developed By The Micro-Institute

The Cottages on Vaughan was developed by the Micro-Institute, a 501(c)3 non profit that is dedicated to educating individuals, groups and cities about the positive impacts of micro living. Their mission is to connect thought leaders to professionals to encourage and enable developments of walk able, sustainable "micro-hood"; communities. Founders of the Micro-Institute , Kim Buccierro and Will Johnston were advocates for the adoption of Appendix Q in Georgia. At this time, it is referred to Appendix S until the effective date of January 2020.

Entire Article And Ordinance At The Tiny Home Industry Association: [The Cottages On Vaughan: Clarkston, Georgia](#)

Jurisdictions Allowing Movable Tiny Homes: Special Thanks To Dan Fitzpatrick



We owe a special thanks to Dan Fitzpatrick, the President Of THIA Director of Government Relations of ATHA for opening doors in many jurisdictions in California which can be used as an example across the nation.

Nick Mosley, Vice President of ATHA and board member of THIA, has also been a key player in moving mountains in California, allowing moveable tiny homes as ADUs in backyards.

Tiny Houses: Affordable Sustainable Eco-Friendly

Dan Fitzpatrick gave lectures all across California and created a presentation on movable tiny homes that is an excellent tool if you are working with a jurisdiction.

[Dan's Presentation](#)

Entire Article At The Tiny Home Industry Association: [Jurisdictions Allowing Movable Tiny Homes](#)

Lake Dallas Tiny Village



Terry Lantrip Developed The First Urban Tiny Home Village

Lake Dallas Tiny Village is a planned development, referencing the 2018 International Residential Code Appendix V which was adapted by the city of Lake Dallas to apply to tiny homes on wheels. The ordinances are listed at the end of the article.

The development was approved by the Lake Dallas city council in 2017. Terry hopes that other local cities, developers, banks and real estate investors will take note of the need for more communities like the Lake Dallas Tiny House Village.

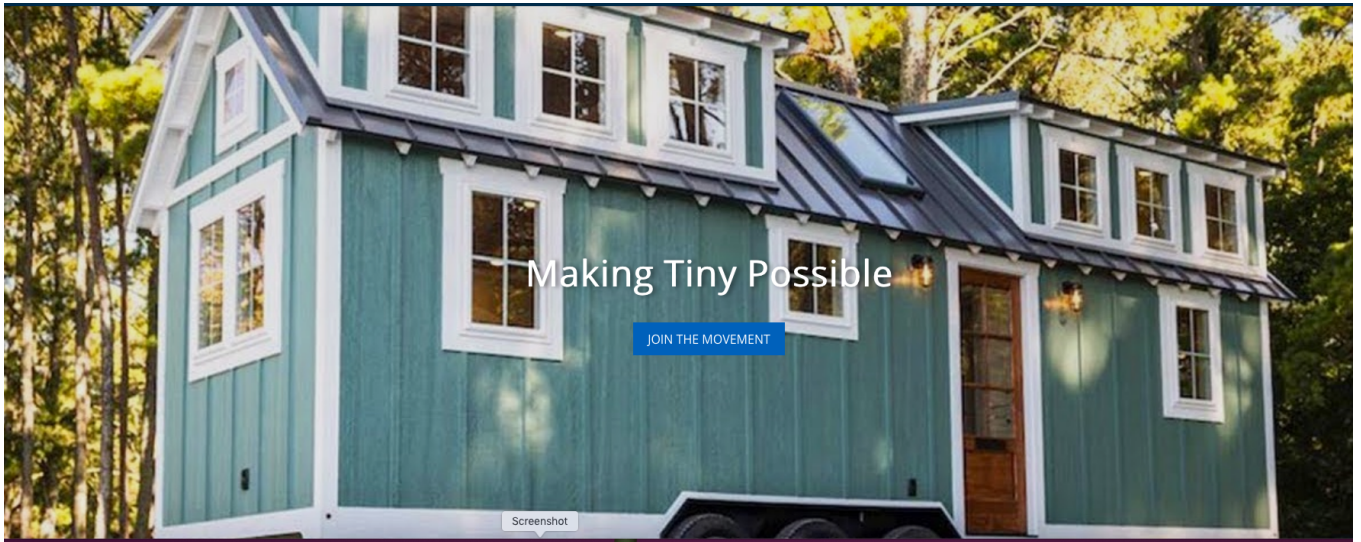
Amended Ordinance 20190502-LD Ord Amending Tiny Home PD Ordinance-107709

Amended Ordinance Ordinance 2017-14 Amending Zoning Ordinance Gotcher

Note: Appendix Q was previously called Appendix V

Appendix Q Tiny Homes typically only apply to tiny homes on a foundation.

Entire Article At Tiny Home Industry Association: [Terry Lantrip Tiny Home Village Developer](#)



Why Join The Tiny Home Industry Association

Members can support our advocacy efforts and join the movement. We are offering an individual membership, commercial membership, a non profit membership that is discounted 50% with the same benefits as a commercial member and an option to donate whatever you choose either monthly or one time.

We would also like to extend an invitation to interested sponsors.

All funds will be used for opening doors in jurisdictions, travel expenses for our President, website expenses and toward our fees for becoming an ANSI Standard Developer.

Mission

Unifying A Movement by Developing Standards and Promoting Best Practices in The Construction, Placement and Widespread Use of Tiny Homes as Permissible and Permanent Housing.

Vision

We Envision A World In Which People Are Allowed To Choose From A Broader Range Of Economical, Ecologically Responsible, Safe And Healthy Solutions.

Impact

Fueling a Global Thriving Industry, Stimulating Economies and Forging Pathways to Sustainable, Attainable Housing

Fostering Strategic Relations with Innovators, Municipalities, Organizations, Developers, Investors, Builders and Individuals

Join The Movement
Making Tiny Possible